

Project description:
 New two level single family dwelling.
 Designed with full span roof truss system and conventional framing construction.
 Foundation constructed with conventional concrete walls and Amvic ICF's.

Square footage (heated)
 Main floor - 1525
 Basement floor - 825
 Total 2350
 (not heated)
 Garage - 500
 Rear deck - 220
 Front porch 40

Project location:
 Lot 7 WS -SP-89-15
 in SE1/4NW1/4 Sec.19 T3 R11 E W.M.
 Tax ID # 03-11-1951-0007/00
 Street- Gaddis Place

Design Parameters:
 Live load- Snow 45 psf
 15% stress increase due to snow duration
 Seismic zone C
 110 MPH 3 second gust wind load.
 exposure C

Energy Code:
 Designed to meet prescriptive path # 1

Building Components:
 Max. window area No limit
 Windows U - 0.40
 Wall insulation R-21
 Underfloor insulation R--25
 Ceiling insulation R-38
 Slab floor edge R-15
 Below grade walls R- 15



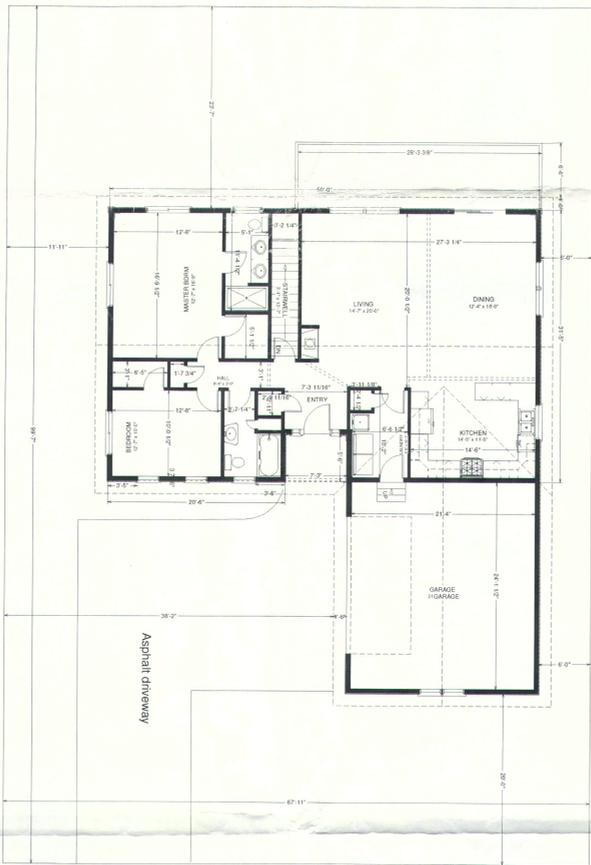
CITY OF WHITE SALMON
REVIEWED PLANS
 THE CITY ENGINEER HAS REVIEWED THESE PLANS FOR CONFORMANCE WITH THE CITY OF WHITE SALMON BUILDING DEPARTMENT ORDINANCES AND THE INTERNATIONAL RESIDENTIAL CODES. ANY PROPOSED CHANGES FROM REVIEWED PLANS MUST BE SUBMITTED FOR REVIEW BEFORE CONSTRUCTION. NO ALTERATIONS SHALL BE MADE TO THE PLANS WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE CITY ENGINEER'S REVIEW DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE CITY ENGINEER'S REVIEW DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED.
 PERMIT NO. 22336-1 DATE: 2-18-05

APPROVED PLANS AND PERMIT MUST BE ON JOB SITE
WSEC
 WINDOW WALL: 414
 WALLS: 325
 CEILING: 225
 FLOOR: 225
 ATTENTION: ALL DIMENSIONS MUST BE APPROVED IN WRITING BY THE BUILDING INSPECTOR

RESIDENTIAL
 Whole house ventilation capable of exhausting 15 CFM each bedroom plus 15 CFM living area and manual control.
 CHANGING RAILS 3/8" MIN

POSITIVE CONNECTION REQUIRED CONCRETE MIN 2500 P.S.I.

ROOF CROSS VENTILATION REQUIRED
 RESIDENTIAL AND RESIDENT CARE FACILITIES
 MAX. SILL HEIGHT 4"
 WATER HEATER AND OTHER APPLIANCES SHALL BE ANCHORED OR STRAPPED
 FDN VENTS 1 WITHIN 3' CORNER - 25 LIN. FT CROSS VENTILATION WHERE POSSIBLE
 6 MIL VISQUEEN GROUND COVER
 TRUSS ENGINEERING TO BE SUPPLIED BEFORE INSTALLATION
 Gullam beams must be engineered & certified by Mfr. for imposed loads
 VENT RIMS AND JGRES TO OUTDOORS
 MIN. 4" DIA. PRE DRILLED
 14" MAX LENGTH

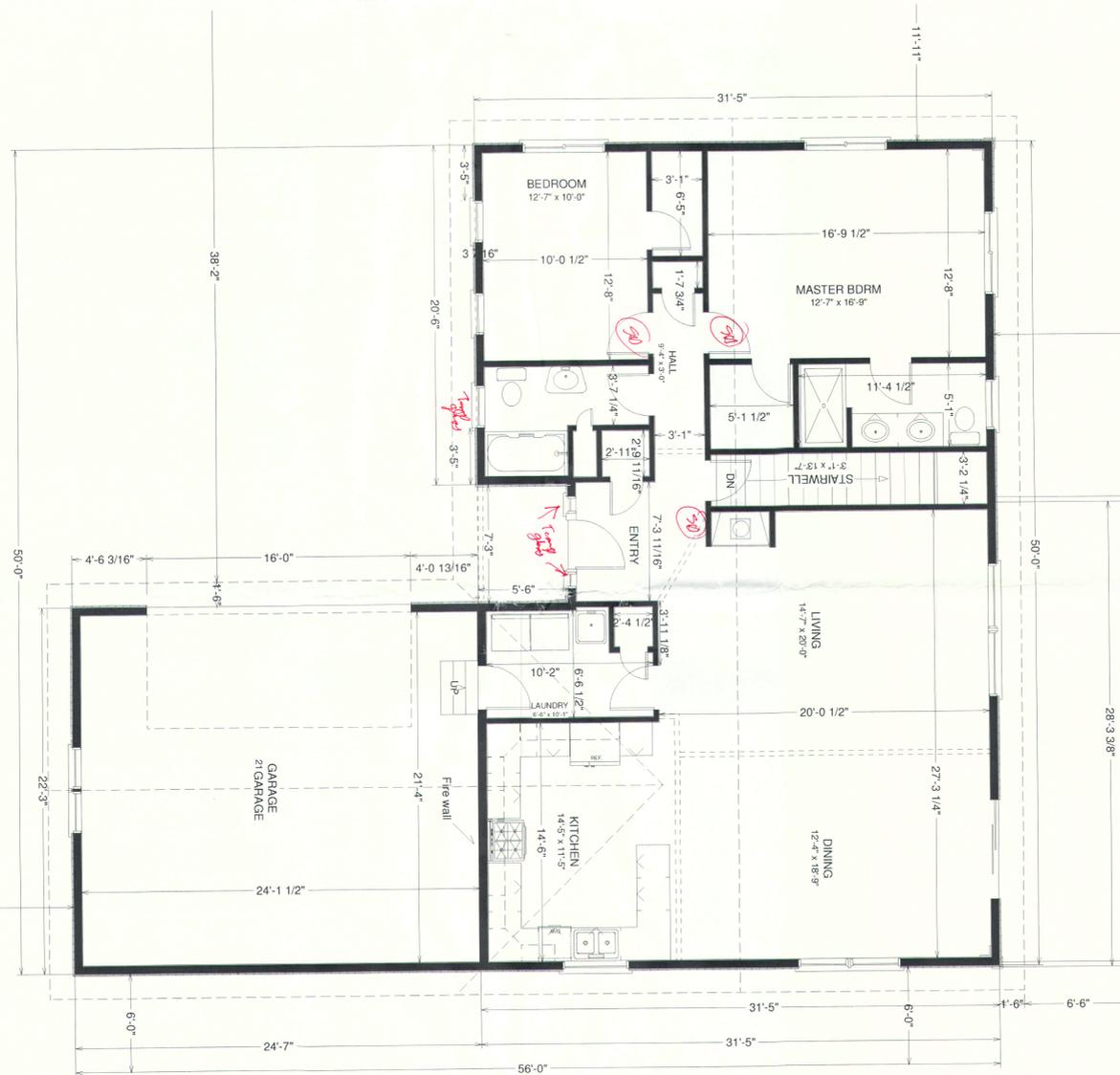


Site Plan

New single family dwelling
 Builder: Steve Delaere
 Site : Gaddis Place, White Salmon, WA. 98672
 Legal: SE1/4 NW1/4 Sec 19 T3 R11E

Main Floor

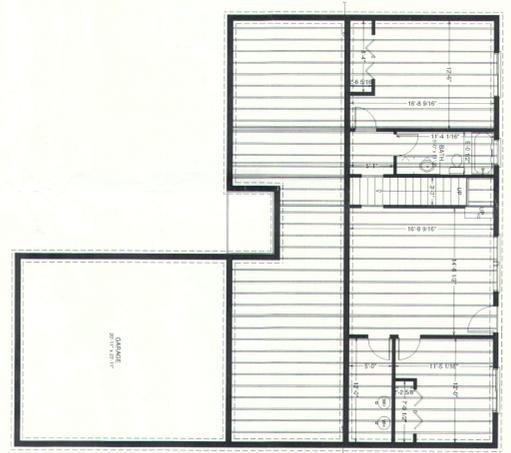
Scale 1/4" = 1'



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Main Level Floor Plan

All floor components to be eng. by others.

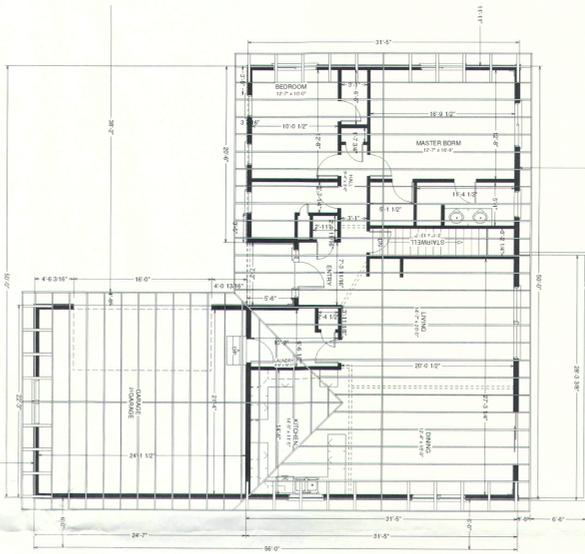


Floor Framing

Scale 1/8" = 1'

DOOR SCHEDULE			
NUMBER	QTY	ROOM	SIZE
D01	6	0	2608 3128 1/2
D02	1	0	2608 3128 1/2
D03	1	0	1008 1208 1/2
D04	1	1	1008 1208 1/2
D05	1	1	1008 1208 1/2
D06	1	1	1008 1208 1/2
D07	2	1	2508 2808 1/2
D08	1	1	2508 2808 1/2
D09	1	1	2508 2808 1/2
D10	2	1	2508 2808 1/2
D11	2	1	2508 2808 1/2
D12	1	1	2508 2808 1/2
D13	1	1	2508 2808 1/2

All roof components to be eng. by others



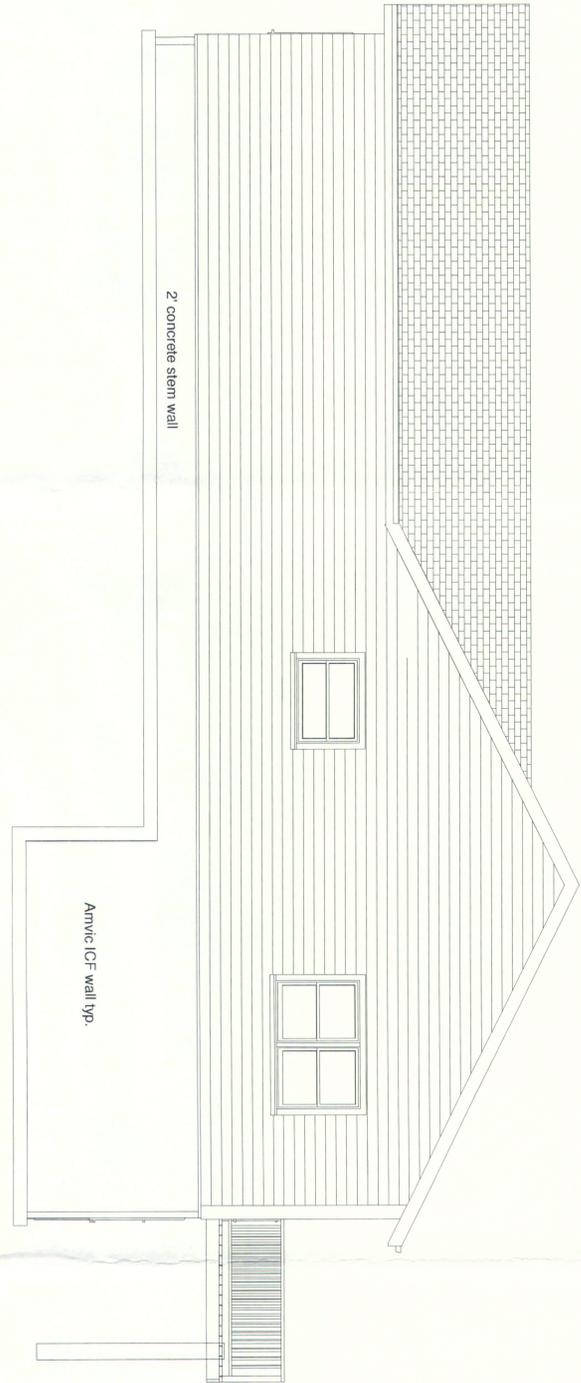
Roof Framing

WINDOW SCHEDULE			
NUMBER	QTY	ROOM	DESCRIPTION
W01	2	0	DOUBLE HUNG
W02	2	0	DOUBLE HUNG
W03	2	1	DOUBLE HUNG
W04	2	1	DOUBLE HUNG
W05	3	1	DOUBLE HUNG
W06	3	1	DOUBLE HUNG
W07	2	1	DOUBLE HUNG
W08	2	1	DOUBLE HUNG
W09	2	1	DOUBLE HUNG
W10	2	1	DOUBLE HUNG
W11	2	1	DOUBLE HUNG
W12	2	1	DOUBLE HUNG
W13	2	1	DOUBLE HUNG
W14	2	1	DOUBLE HUNG
W15	2	1	DOUBLE HUNG
W16	2	1	DOUBLE HUNG
W17	2	1	DOUBLE HUNG
W18	2	1	DOUBLE HUNG
W19	2	1	DOUBLE HUNG
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W94	2	1	DOUBLE HUNG
W95	2	1	DOUBLE HUNG
W96	2	1	DOUBLE HUNG
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W98	2	1	DOUBLE HUNG
W99	2	1	DOUBLE HUNG
W100	2	1	DOUBLE HUNG

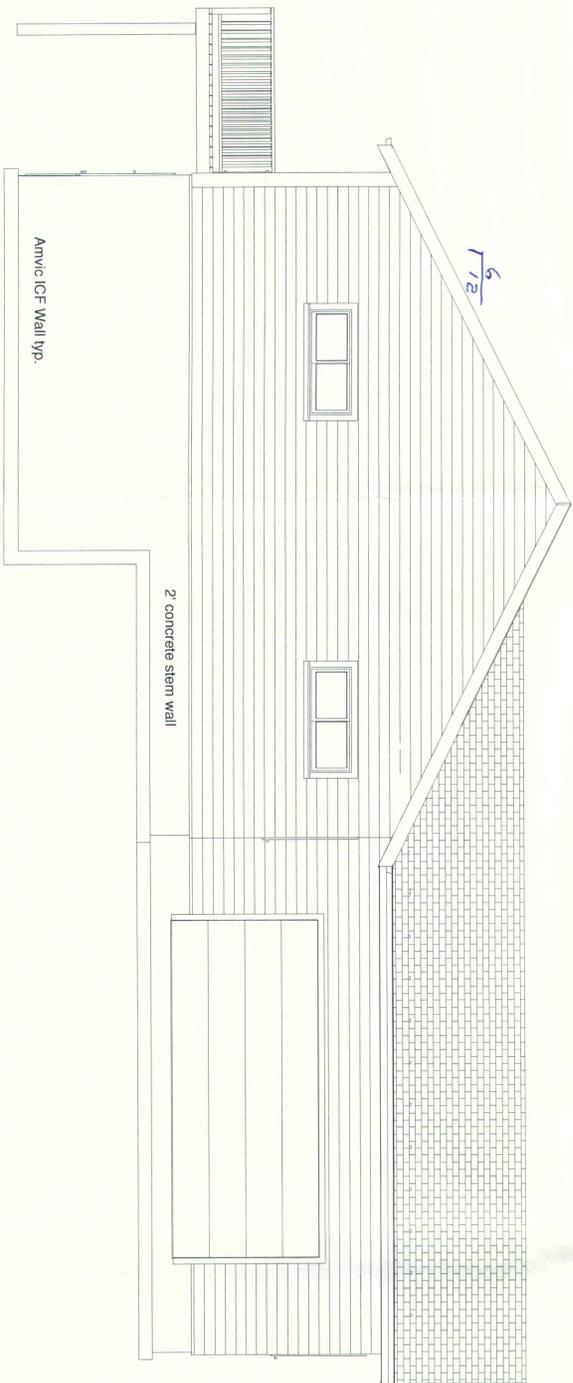
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Roof and Floor Framing Plan

South Elevation



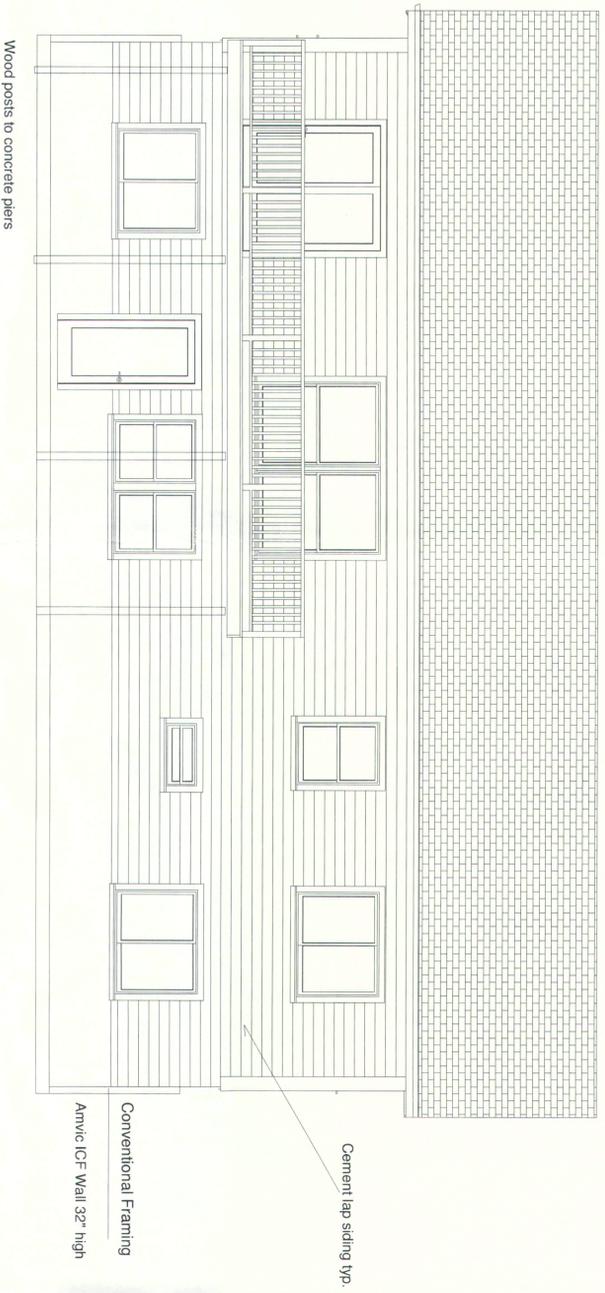
North Elevation



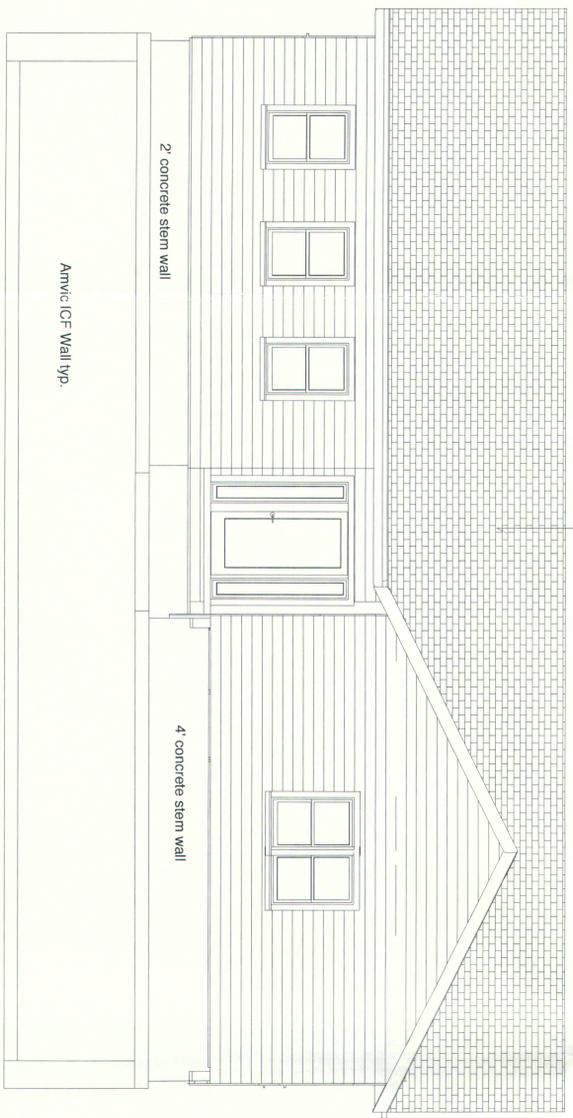
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North and south elevations



East Elevation



West Elevation

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East and west elevations

To TR Joyce