

CHICAGO TITLE INSURANCE COMPANY

Policy No. 72156-48423586

GUARANTEE

CHICAGO TITLE INSURANCE COMPANY, a Florida corporation, herein called the Company, guarantees the Assured against actual loss not exceeding the liability amount stated in Schedule A which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule A.

1. No guarantee is given nor liability assumed with respect to the identity of any party named or referred to in Schedule A or with respect to the validity, legal effect or priority of any matter shown therein.
2. The Company's liability hereunder shall be limited to the amount of actual loss sustained by the Assured because of reliance upon the assurance herein set forth, but in no event shall the Company's liability exceed the liability amount set forth in Schedule A.

PLEASE NOTE CAREFULLY THE LIABILITY EXCLUSIONS AND LIMITATIONS AND THE SPECIFIC ASSURANCES AFFORDED BY THIS GUARANTEE. IF YOU WISH ADDITIONAL LIABILITY, OR ASSURANCES OTHER THAN AS CONTAINED HEREIN, PLEASE CONTACT THE COMPANY FOR FURTHER INFORMATION AS TO THE AVAILABILITY AND COST.

Dated: January 8, 2024

Issued by:

AmeriTitle, LLC

165 NE Estes Ave. - PO Box 735

White Salmon, WA 98672

(509) 493-1965

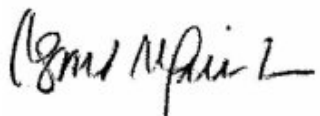
Arika Klawitter

Authorized Signer

Note: This endorsement shall not be valid or binding until countersigned by an authorized signatory.

CHICAGO TITLE INSURANCE COMPANY



By: 

ATTEST

Secretary

President

Secretary

Subdivision Guarantee Policy Number: 72156-48423586

SUBDIVISION GUARANTEE

Order No.: 619682AM

Guarantee No.: 72156-48423586

Dated: January 8, 2024

Liability: \$1,000.00

Fee: \$350.00

Tax: \$26.60

Your Reference: Monument Rentals LLC, a Utah limited liability company

Assured: Integrity Building and Construction, LLC

The assurances referred to on the face page are:

That, according to those public records with, under the recording laws, impart constructive notice of matters relative to the following described real property:

See attached Exhibit 'A'

Title to said real property is vested in:

Monument Rentals LLC, a Utah limited liability company

END OF SCHEDULE A

(SCHEDULE B)

Order No: 619682AM
Policy No: 72156-48423586

Subject to the matters shown below under Exceptions, which Exceptions are not necessarily shown in the order of their priority.

EXCEPTIONS:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
2. Unpatented mining claims; reservations or exceptions in the United States Patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
3. Title to any property beyond the lines of the real property expressly described herein, or title to streets, roads, avenues, lanes, ways or waterways on which such real property abuts, or the right to maintain therein vaults, tunnels, ramps, or any other structure or improvement; or any rights or easements therein unless such property, rights or easements are expressly and specifically set forth in said description.
4. Any lien for service, installation, connection, maintenance, tap, capacity or construction or similar charges for sewer, water, electricity, natural gas or other utilities, or for garbage collection and disposal not shown by the Public Records
5. Indian tribal codes or regulations, Indian treaty or aboriginal rights, including easements or equitable servitudes.
6. General Taxes and Assessments – total due may include fire patrol assessment, weed levy assessment and/or irrigation assessment, if any. Taxes noted below do not include any interest or penalties which may be due after delinquency.

Note: Tax year runs January through December with the first half becoming delinquent May 1st and second half delinquent November 1st if not paid. For most current tax information or tax printouts visit: <http://www.klickitatcountytreasurer.org/> or call their office at (800) 766-5403.

Tax Year: 2023
Tax Type: County
Total Annual Tax: \$5,841.70
Tax ID #: 03-10-2420-0032/00
Taxing Entity: Klickitat County Treasurer
First Installment: \$2,920.85
First Installment Status: Paid
First Installment Due/Paid Date: April 30, 2024
Second Installment: \$2,920.85
Second Installment Status: Paid
Second Installment Due/Paid Date: October 31, 2024

Special Use: None
Tax Code Area (TCA): 2

7. Taxes, including any assessments collected therewith, for the year 2024 which are a lien not yet due and payable.
8. Matters as shown on Overlander Bluff Subdivision - Phase 3, including but not limited to:
Recorded: December 8, 1994
Instrument No.: 244607
Book: 6, Page: 2
A. Easements
[View Document](#)
9. Matters as shown on City of White Salmon BLA 2007-002, including but not limited to:
Recorded: December 18, 2007
Instrument No.: 1074610
Book: 1, Page: 309
A. Easements
[View Document](#)
10. Matters as shown on Boundary Line Adjustment No. WS-BLA 2020-003, including but not limited to:
Recorded: July 26, 2021
Instrument No.: 1149365
Book: 1, Page: 540
A. Fence Line Locations
[View Document](#)

END OF EXCEPTIONS

Notes:

Note No. 1: Any map or sketch enclosed as an attachment herewith is furnished for information purposes only to assist in property location with reference to streets and other parcels. No representation is made as to accuracy and the company assumes no liability for any loss occurring by reason of reliance thereon.

All documents recorded in Washington State must include an abbreviated legal description and tax parcel number on the first page of the document. The abbreviated description for this property is: Adj. Lot 2, WS-BLA 2020-003, Bk. 1, Pg. 540, KCBLAR.

Any map or sketch enclosed as an attachment herewith is furnished for informational purposes only to assist in property location with reference to streets and other parcels. No representation is made as to accuracy and the company assumes no liability for any loss occurring by reason of reliance thereon.

NOTE: In the event any contracts, liens, mortgages, judgments, etc. which may be set forth herein are not paid off and released in full, prior to or immediately following the recording of the forthcoming plat (short plat), this Company will require any parties holding the beneficial interest in any such matters to join in on the platting and dedication provisions of the said plat (short plat) to guarantee the insurability of any lots or parcels created thereon. We are unwilling to assume the risk involved created by the possibility that any matters dedicated to the public, or the plat (short plat) in its entirety, could be rendered void by a foreclosure action of any such underlying matter if said beneficial party has not joined in on the plat (short plat).

END OF GUARANTEE

EXHIBIT 'A'

File No. 619682AM

Adjusted Lot 2, BOUNDARY LINE ADJUSTMENT NO. WS-BLA 2020-003, according to the Plat thereof, recorded July 26, 2021, in Book 1, Page 540, Auditor's File No. 1149365, Klickitat County Boundary Line Adjustment Records, in the County of Klickitat and State of Washington.

BOUNDARY LINE ADJUSTMENT WS-BLA 2020.003 OF CITY OF WHITE SALMON IN THE SE1/4 OF THE SE1/4 OF SECTION 24 T3N, R10E, W.M.

WE, OWNERS OF LOT No.5 03102411000300 & 03102411000400 SHOWN HEREIN, HEREBY DECLARE THAT THIS LOT LINE ADJUSTMENT HAS BEEN MADE WITH OUR FREE CONSENT AND IN ACCORDANCE WITH OUR DESIRES.

Olga Jane Hecomovich
OLGA JANE HECOMOVICH, TRUSTEE OF THE MITCHI J. HECOMOVICH AND OLGA JANE HECOMOVICH LIVING TRUST DATED MAY 22, 2001

Danise M Bell
DANISE M BELL
Notary Public
State of Washington
My Appointment Expires Feb 17, 2022
7-9-21
DATE

Howard Kreps
HOWARD KREPS, SUCCESSOR TRUSTEE OF THE MITCHI J. HECOMOVICH AND OLGA JANE HECOMOVICH LIVING TRUST DATED MAY 22, 2001

Danise M Bell
DANISE M BELL
Notary Public
State of Washington
My Appointment Expires Feb 17, 2022
7-9-21
DATE

I, AUSTIN R. BELL, A REGISTERED LAND SURVEYOR IN THE STATE OF WASHINGTON, CERTIFY THAT THIS PLAT IS BASED ON AN ACTUAL SURVEY OF LAND DESCRIBED HEREIN, CONDUCTED BY ME OR UNDER MY SUPERVISION DURING THE PERIOD OF Jan, 2021 THROUGH June, 2021, THAT THE DISTANCES, COURSES AND ANGLES SHOWN ARE CORRECT, THAT MONUMENTS HAVE BEEN SET AND THE ADJUSTMENTS OF LOT LINES ARE STAKED ON THE GROUND AS DEPICTED ON THE THIS DRAWING.

Austin R Bell
AUSTIN R BELL
PROFESSIONAL LAND SURVEYOR
P.L.S. NO. 41954
7-7-21
DATE

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY ME AND THAT IT CONTAINS ADEQUATE PROVISIONS FOR STREETS, WATER SUPPLY, AND SEWAGE DISPOSAL FOR DOMESTIC/COMMERCIAL USE.

Patricia Munyan
PATRICIA MUNYAN
PUBLIC WORKS OPERATIONS MANAGER
7-20-21
DATE

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY ME AND THAT IT CONFORMS WITH CITY OF WHITE SALMON STANDARDS FOR SURVEY DATA, LAYOUT OF ROADS, EASEMENTS AND OTHER IMPROVEMENTS AS REQUIRED.

Patricia Munyan
PATRICIA MUNYAN
CITY ADMINISTRATOR
7/19-21
DATE

THIS BOUNDARY LINE ADJUSTMENT IS EXEMPT FROM CITY AND STATE PLATTING REGULATIONS AS PROVIDED BY RCW 58.17.040(6).

Patricia Munyan
PATRICIA MUNYAN
PLANNING ADMINISTRATOR
7/19-21
DATE

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY ME AND THAT IT CONTAINS ADEQUATE SAFE PROVISIONS FOR WATER SUPPLY AND ACCESS FOR PURPOSES OF FIRE PROTECTION.

Bell Hank
BELL HANK
FIRE CHIEF/CODE ENFORCEMENT
7-19-21
DATE

I HEREBY CERTIFY THAT ALL TAXES, AND COMPENSATING TAXES AND/OR PENALTIES AND PROPERTY CONTAINED WITHIN THE PLAT SHOWN HEREIN HAVE BEEN PAID, DISCHARGED OR SATISFIED.

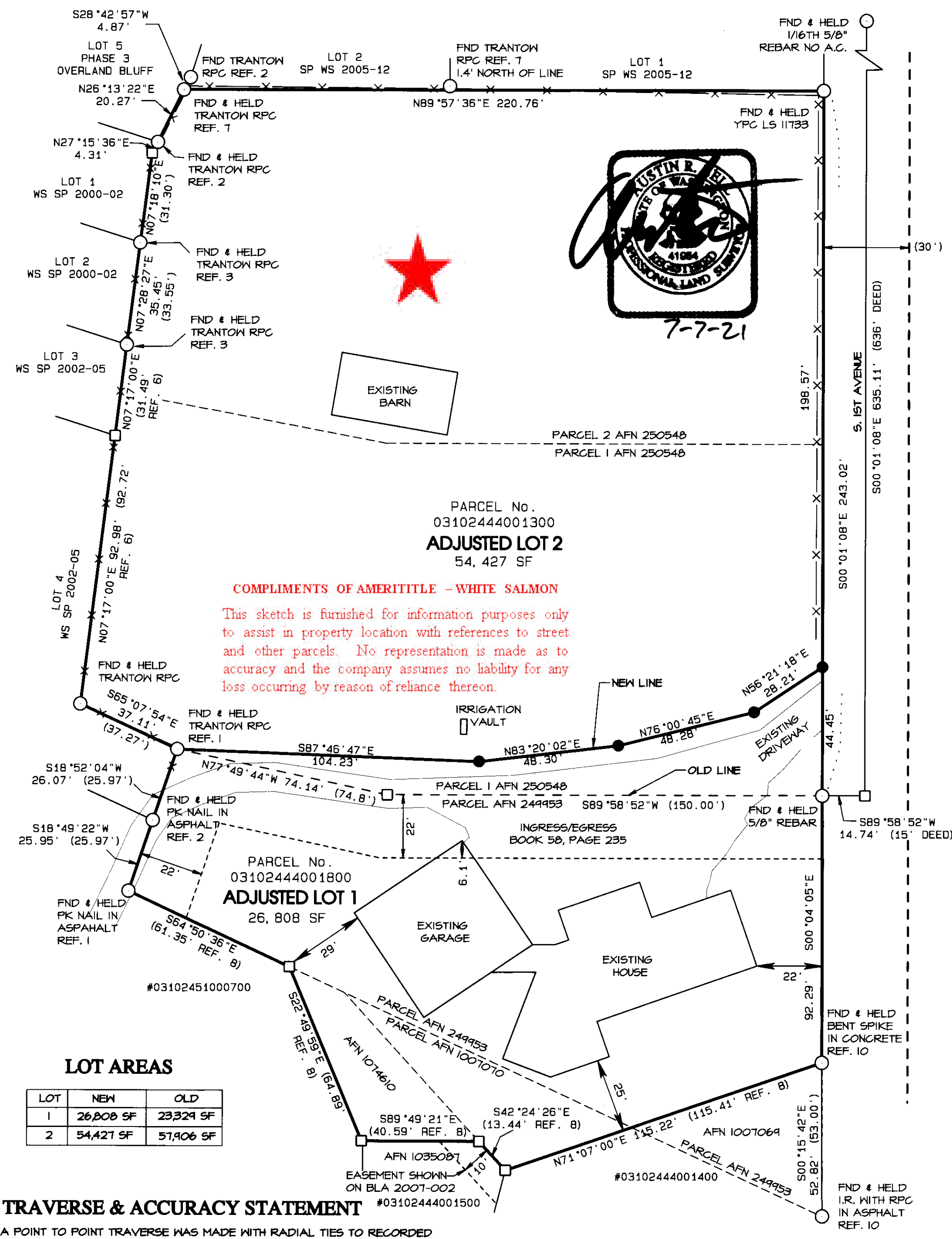
Brenda Pasini for Greg Gallagher
BRENDA PASINI FOR GREG GALLAGHER
Klickitat COUNTY TREASURER
7-20-21
DATE

BOUNDARY LINE ADJUSTMENT FILED FOR RECORD AT THE REQUEST OF BELL DESIGN COMPANY IN BK 1 PG 50

THIS 26 DAY OF July 20 21, AT 1:43 P

Brenda Pasini
BRENDA PASINI
Klickitat County Auditor
1149365
Auditors No.

Victoria Ben-Davidy
VICTORIA BEN-DAVIDY
0: \2020\B209\20B209.pro



COMPLIMENTS OF AMERITITLE - WHITE SALMON

This sketch is furnished for information purposes only to assist in property location with references to street and other parcels. No representation is made as to accuracy and the company assumes no liability for any loss occurring by reason of reliance thereon.

LOT AREAS

LOT	NEW	OLD
1	26,808 SF	23,324 SF
2	54,427 SF	57,906 SF

TRAVERSE & ACCURACY STATEMENT

A POINT TO POINT TRAVERSE WAS MADE WITH RADIAL TIES TO RECORDED MONUMENTS FOR THE PARCEL SHOWN WITH A FIVE-SECOND TOTAL STATION AND RELATED MEASURING EQUIPMENT, OF WHICH MEET STATE STANDARDS (MAC 332-130-040-100) AT THE TIME OF THIS SURVEY. ALL MONUMENTS WERE FOUND TO BE WITHIN ACCEPTABLE TOLERANCES.

Bell Design Co. makes no warranty as to matters of unwritten title such as adverse possession, prescriptive rights, easements, estoppel, acquiescence, etc. or to environmental concerns such as hazardous waste, pollution, wet land delineation, riparian changes, flood zones, etc.

- LEGEND**
- MARKER FOUND AS NOTED
 - CALCULATED CORNER; NOT SET OR FOUND.
 - SET RED PLASTIC CAP (RPC) ON 5/8" REBAR (RBR)
 - () PLAT OR DEED CALL
 - X-X- EXISTING FENCE

- REFERENCES**
- 1) 1993 TRANTOW SURVEY, AFN 235234
 - 2) 1994 TRANTOW OVERLANDER BLUFF SUBDIVISION- PHASE 3, AFN 244607
 - 3) 2000 TRANTOW WS-SPL-2000-00002, AFN 1019762
 - 4) 2002 TRANTOW BLA-2002-00005, AFN 1033306
 - 5) 2002 TRANTOW AMENDED SURVEY, AFN 1026854
 - 6) 2002 TRANTOW WS-SPL-2002-00005, AFN 1033984
 - 7) 2006 TRANTOW WS-SPL-2005-012, AFN 1054408
 - 8) 2007 PEOPLES BLA 2007-002, AFN 1074610
 - 9) 2015 KLEIN SURVEY, AFN 1108847
 - 10) 1998 TRANTOW SURVEY, AFN 108502

LEGAL DESCRIPTION

PARCELS 1 & 2 AS DESCRIBED IN STATUTORY WARRANTY DEED - AFN 250548,
AND PARCELS 3 & 4 AS DESCRIBED IN QUIT CLAIM DEED - AFN 244953, AND QUIT CLAIM DEED - AFN 1007010,
IN THE SE1/4 OF THE SE1/4 OF SECTION 24, T3N, 10E, W.M.
TAX PARCELS No. 03102444001300 & 03102444001800

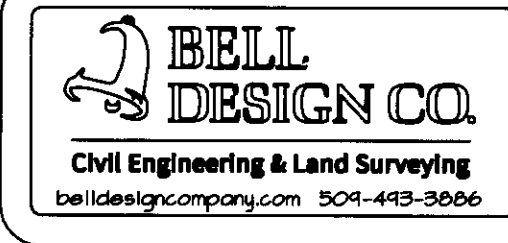
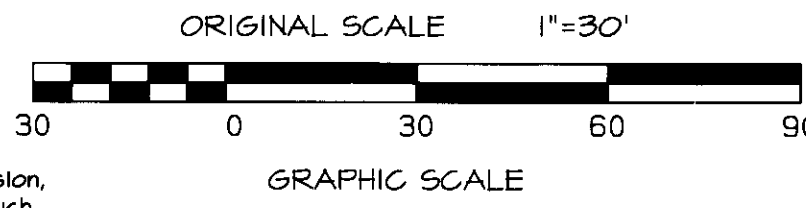
SURVEY NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO MONUMENT THE ADJUSTED LOT LINES OF TAX PARCELS No. 03102444001800 & 03102444001300

MONUMENTS FOUND AND HELD AS NOTED. ALL MONUMENTS WERE FOUND TO BE WITHIN ACCEPTABLE TOLERANCES.

EASEMENTS OF RECORD

- 1) AS SHOWN ON OVERLANDER BLUFF SUBDIVISION - PHASE 3, BOOK 6, PAGE 2
- 2) AS SHOWN ON CITY OF WHITE SALMON BLA 2007-002, BOOK 1, PAGE 304



INDEX CHART

SECTION 24	DATE	DESCRIPTION	BY
TOWNSHIP 3N	12/20	DRAFT	JHD
RANGE 10E	12/20	CHECK	ARB

BOUNDARY LINE ADJUSTMENT FOR OLGA HECOMOVICH WHITE SALMON, WA

SHEET: 1 OF 1
PROJECT: 20B209
DATE: JUL 2021